



PLEASE NOTE, DUE TO EACH BUILDING LOT BEING UNIQUE AND EACH AREA HAVING DIFFERENT BUILDING CODES AND CONSTRUCTION PRACTICES, STRUCTURAL ENGINEERING WILL NEED TO BE PERFORMED AT THE LOCAL LEVEL FOR EACH PROJECT. GENERAL STRUCTURAL SUGGESTED LOCATIONS, FINAL STRUCTURAL ALIGNMENT MAY VARY. ONLINE PLANS TYPICALLY HAVE MINIMAL AMOUNTS OF MATERIALS AND BUILDER DIRECT SPECIFICATION, AND BECAUSE EACH AREA OF THE COUNTRY HAS DIFFERENT BUILDING CODES, THESE PLANS ARE FOR ARCHITECTURAL PLANNING ONLY.



FRONT VIEW



BACK VIEW

USA-2895-LH

2,895 SF
1-STORY MODERN LAKEHOUSE STYLE
WALKOUT FOUNDATION

AREA CALCULATIONS (ALL MEASUREMENTS IN SQUARE FEET)

FINISHABLE AREAS	MAIN LEVEL	2ND FL/BONUS	TOTAL FINISHED	OUTDOOR SPACE	GARAGE
	FINISHED	FINISHED	FINISHED	COVERED PORCH	1-CAR
1995	2895	NA	4890	266	---
UNFINISHED			FINISHED W/BONUS	PATIO	2-CAR
906			NA	---	---
TOTAL				COVERED PATIO	3-CAR
2901				1112	1212
				DECK	4-CAR
				---	---
BEDS	BATHS	FOUND.	WALL / FLR INS.	COVERED DECK	
2+(2)	2 1/2+(2)		LOCAL CODE	1112	
BUILDING HT.	ROOF PITCH		1ST/2ND CEILING HT		
25'-9"			10' / NA		

GENERAL NOTES

1. FIELD VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
2. DRAWINGS PRIOR TO CONSTRUCTION.
3. CONTRACTORS ARE TO WORK OFF OF FULL SETS OF DOCUMENTS.
4. MEASUREMENTS ARE FROM FACE OF STUD, FACE OF CONCRETE, CENTER LINE OF STRUCTURAL MEMBERS.
5. ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL CODES. SECURE ALL PERMITS AND APPROVALS PRIOR TO ANY CONSTRUCTION. LOCAL CODES MAY SUPERSEDE NOTES LISTED HEREIN.
6. PROVIDE OUTSIDE COMBUSTION AIR TO ALL FIRE BOXES PER CODE.
7. ALL HAND AND GUARDRAILS SHALL COMPLY WITH APPLICABLE CODE.
8. PROVIDE COMBUSTION AIR TO FURNACES AND WATER HEATER PER CODE.
9. PROVIDE 1 HOUR FIRE PROTECTION AT ALL USEABLE SPACES UNDER STAIRS WITH 5/8" TYPE "X" GYP. BD. IF APPLICABLE.
10. PROVIDE FLOOR BLOCKING, WALL BLOCKING, ROOF BLOCKING AND FIRE BLOCKING PER CODE.
11. COORDINATE LANDSCAPE IRRIGATION SUPPLY AND REQUIRED SLEEVE LOCATIONS WITH THE BUILDER.
12. ALL ELEVATION TARGETS ARE TO TOP OF SUBFLOOR, TOP OF PLATE OR TOP OF CONCRETE UNO.
13. OWNER TO COORDINATE LOCATION OF GAS, WATER AND ELECTRICAL METER AS WELL AS PANEL LOCATION.
14. ALL BUILDING SITES ARE UNIQUE AND REQUIRE LOCALLY LICENSED ENGINEERING FOR FOUNDATIONS* ETC., THESE PLANS ARE FOR ARCHITECTURAL PLANNING ONLY.
15. NOTE: THIS IS AN ALL BRICK HOME. BUILDER TO CONFIRM FULL OR THIN BRICK CHOICE WITH LOCAL FOUNDATIONS ACCORDINGLY.

DRAWING SHEET INDEX

LABEL	TITLE	DESCRIPTION	COMMENTS	PLAN REVISIONS DESCRIPTION
1	COVER SHEET	-PROJECT INFORMATION-		
2	FLOOR PLAN	WALKOUT PLAN		
3	FLOOR PLAN	MAIN LEVEL PLAN		
4	ROOF PLAN	PLAN + NOTES		
5	GARAGE PLAN	FDN, MAIN+ELECT, ROOF		
6	LIGHTING PLAN	BASEMENT LEVEL		
7	LIGHTING PLAN	MAIN LEVEL		
8	EXTERIOR ELEVATIONS	FRONT + RIGHT		
9	EXTERIOR ELEVATIONS	BACK + LEFT		
10	BUILDING SECTIONS	LONG+CORNER		
11	BUILDING SECTIONS	LONG+CORNER		
12	ELEVATIONS+DETAILS	ALL DETAILS		

DESIGNER STATEMENT: ALL ILLUSTRATIONS, NOTES AND/OR OTHER ITEMS SHOWN ON THESE PAGES ARE FOR OVERALL DESIGN DIRECTION ONLY. ARCHITECT AND/OR DESIGNER ACCEPTS NO RESPONSIBILITY FOR CONSTRUCTION CODE COMPLIANCE, CONSTRUCTION MEANS AND METHODS OR ANY PERCEIVED DEFICIENCIES WITHIN THIS SET OF DOCUMENTS. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY AND THE RIGHT TO CONSTRUCT THIS AND ALL PROJECTS TO THEIR OWN CODE INTERPRETATIONS AND CONSTRUCTION MEANS AND METHODS OF CONSTRUCTION. NOTHING SHOWN OTHERWISE IN THIS SET SHALL OVERRIDE THIS STATEMENT.
IF THIS NOTE IS AFFIXED TO ONE SHEET, IT IS THE SAME AS BEING AFFIXED TO ALL SHEETS IN THIS SET.

PLEASE NOTE: THESE PLANS ARE FOR ARCHITECTURAL PLANNING ONLY. THEY ARE NOT TO BE USED FOR CONSTRUCTION WITHOUT THE ASSISTANCE OF A LICENSED ARCHITECT OR ENGINEER. THE ARCHITECT AND/OR ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. LOCAL CODES MAY SUPERSEDE NOTES LISTED HEREIN. THESE PLANS ARE FOR ARCHITECTURAL PLANNING ONLY.

PLAN REVISIONS

Number Date Description

COVER SHEET
-PROJECT INFORMATION-



USA-2895

2,895 SF

1-STORY MODERN LAKEHOUSE
WALKOUT FOUNDATION

DATE:

12/2/2025

TOTAL SHTS:

1 of 12

SHEET:

1

1. GC TO REVIEW ALL DRAWINGS PRIOR TO CONSTRUCTION.
2. ANY DISCREPANCIES OR INCONSISTENCIES SHOULD BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO CONSTRUCTION.
3. ALL SUB-CONTRACTORS ARE TO WORK OFF OF FULL SETS OF DOCUMENTS.
4. DIMENSIONS ARE TO BE ROUGH FIRMING UNLESS NOTED OTHERWISE.
5. GC TO VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.
6. IN THE EVENT OF A DISCREPANCY BETWEEN STRUCTURAL DRAWINGS AND ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS WILL ALWAYS SUPERSEDE ARCHITECTURAL.
7. TRUSSES ARE TO BE LICENSED TRUSS COMPANY MUST PROVIDE SHOP DRAWINGS TO STRUCTURAL ENGINEER AND GC FOR REVIEW PRIOR TO FABRICATION.
8. ALL VENTING SHALL BE ROUTED TO THE BACK SIDE OF THE ROOF ENTRY SIDE OF THE ROOF. RIDGE AND BE PAINTED TO MATCH BASE ROOF COLOR.

EXTERIOR WALLS:	R-21
VAULTED/DEAD CEILING	R-38
BASEMENT WALLS	R-21
GARAGE EXTERIOR WALLS	R-19
CEILING AREA	R-50
GARAGE CEILING AREA	R-19

1. ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL CODES. SECURE ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
2. ALL CODE REFERENCES IN THESE DOCUMENTS REFER TO THE LATEST VERSION OF THE INTERNATIONAL RESIDENTIAL CODE AND OVERLEAVE.
3. ALL CONFLICTING DESIGNER NOTE(S), THE PROJECT MANAGER, SUPERINTENDENT, AND ALL SUBCONTRACTORS ARE TO EXAMINE AND VERIFY ALL DIMENSIONS EXISTING CONDITIONS BOTH ON THE P & P FIELD.
4. NOTIFY ARCHITECT AND BUILDING DEPARTMENT AND CONFLICTS PRIOR TO ANY CONSTRUCTION.
5. BUILDER TO COMPLY WITH ALL SPECIFICATIONS AND INFORMATION.
6. PROJECT MANAGER TO BE RESPONSIBLE FOR ALL CONSTRUCTION.

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12 A GEL.
13 BEER IN A CONSUMABLE,
14 IF APPLICABLE, AVAILABLE FOR REVIEW AS
15 AND IN PLANS, REPORTING ALL AREAS OF WORK
16 TO THE ARCHITECT. NO COMPLETION IS NOT
17 REFERENCE ON, AND IS NOT TO BE CONSIDERED A PART
18 OF THESE CONTRACT DOCUMENTS. WHILE IT IS BELIEVED
19 THAT THE ACCURACY OF ANY COMPLETION IS NOT
20 GUARANTEED BY THE ARCHITECT.

21 BUILDER TO COORDINATE TOP OF FOUNDATION WALL
22 WITH EXISTING LOCATION OF STRUCTURAL
23 DRAWINGS AND FINAL GRADING.
24 COORDINATE LANDSCAPE IRRIGATION SUPPLY AND
25 REQUIREMENTS WITH EXISTING STRUCTURAL
26 HAVING ALL WINDOWS TO BE DOUBLE PANED AND "LOW E"
27 TECHNOLOGY LOW OR PER BUILDER SPEC. BASEMENTS
28 AND FINISHED ROOMS SHALL HAVE MINIMUM ONE
29 OPERABLE EGRESS WINDOW FOR EMERGENCY ESCAPE.
30 TEMPERED GLASS IS TO BE PROVIDED PER CODE
31 STRIP DOORS TO OTHER TRULSS AND CROCK FRAMING
32 DESIGN BY RELATED MILLWORK DRAWINGS ARE
33 TO BE PROVIDED BY OTHER TRULSS AND CROCK FRAMING
34 SHOW AREA FOR REFERENCE ONLY.
35 ALL EXTERIOR DOORS LEADING TO UNHEATED AREAS ARE
36 TO BE WEATHER STRIPPED.
37 VERIFY WITH BUILDER IF GYP BOARD CORNERS ARE TO BE
38 RADIUS FORM TOP TO DRYWALL INSTALLATION. FRAMING AT
39 INTERIORS TO BE COORDINATED TO ALLOW FOR THE
40 RADIUS TO TERMINATE AT OR BEFORE THE FACE OF
41 CABINET.
42 MAKE CARE TO PROTECT ALL NEIGHBORING PROPERTY
43 ENHANCEMENTS.
44 DO NOT SCALE DOCUMENTS.
45 FLUKE AND WALKS TO BE FIRE STOPPED.
46 MANUFACTURERS INSTALLATION INSTRUCTIONS ARE TO BE
47 STRICTLY FOLLOWED FOR THE INSTALLATION OF ALL
48 FIREPLACE. PROVIDE CHIMNEY FLASHING AND GUST
49 FIREPLACES.
50 USE SELF-CLIMBING, TIGHT FITTING AND FIRE RATED
51 GAS TIGHT DOORS ONLY MEET L.C. CODE
52 ALL STAR ASSEMBLIES OF 3"R IN WIDTH OR GREATER SHALL
53 HAVE A MINIMUM OF THIRTY SPINDLES.
54 STAIRS AND HANDRAILS OR CHAINS PER
55 REQUIRED). SPLASH BLOCKS MAY ALSO BE USED, BUT MUST
56 BE MINIMUM 18" IN LENGTH MATCH MAXIMUM DISTANCE
57 NEIGHBORHOOD STANDARDS THAT MIGHT EXIST.
58 ALL STONE TO BE THICK REAL STONE OR
59 PREMANUFACTURED STONE. SEE ATTACHED DRAWINGS.
60 PROVIDE STONE OR STUCCO PROFILE "LINTER" ABOVE AND
61 BELOW SLT" WINDOW AND AS NOTED ON EXTERIOR
62 ELEMENTS.
63 ALL BRICK TO HAVE ROWLOCK OR SOLDIER COURSE BRICK
64 CAP WITH FLASHING AND TRIM OVER ROWLOCK OR
65 SOLDIER COURSE

1. WINDOWS FINISHED BY BUILDER SPEC.
2. PROVIDE LOW-E GLASS ON ALL WINDOWS SUBJECT TO OPINION OF WINDOW SUPPLIER.
3. GC AND WINDOW SUPPLIER TO VERIFY EGRESS REQUIREMENTS AND TEMPERED GLASS NEEDS.
4. GC AND WINDOW SUPPLIER TO VERIFY FINAL ROUGH OPENINGS.
5. PROVIDE ALL FLASHING AND COUNTER FLASHING, MEMBRANE RAUP AND SEALANT.
6. REEF BUILDING ELEVATIONS FOR WINDOW OPERATION, BASEMENTS AND SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE WINDOW PER ROOM.
7. TEMPER GLASS WHEN (AND/OR AS DIRECTED PER LOCAL CODE)
 - LOCATION IS WITHIN A 24" ARC OF A DOOR, EITHER CLOSED OR OPEN.
 - AREAS SUBJECT TO IMPACT BY HUMANS OR ANIMALS.
 - GLASS USED IN DOORS.
 - PLACED LESS THAN 18" AFF AND GREATER THAN 9" SF IN SIZE.
8. AT BATHUB AND SHOWER LOCATIONS

[illegible]

Architectural floor plan for the second floor of a building. The plan includes a large diagonal watermark reading "NOT FOR CONSTRUCTION".

Key areas and dimensions:

- BATH B2:** 9'-8" x 5'-6"
- HALL:** 4'-8" x 9'-7"
- WET BAR:** 6' x 5'-6"
- MAIN TRUNK LINE:** SHOWN H
- BEAM RE-STRUCT:**
- POST+PAD:**
- CROSS SECTION 1:**
- CROSS SECTION 2:**
- PROVIDE PASSIVE RADON MITIGATION:** MIN. 6 MIL. VAPOR BARRIER ON CRAWLSPACE FLOOR RE: LOCAL CODE FLOOR MAX. INCH
- 12" SOFFIT TYP.**
- 11'-5"**
- 16'-9"**
- 6'-5"**
- 5'-10"**
- 9'-7"**
- 4'-3 1/2"**
- 3'-9"**
- 2'-8"**
- 2'-0 1/2"**
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- 1'-2"**
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NOT FOR CONSTRUCTION

USA-2895
2,895 SF
1-STORY MODERN LAKEH
WALKOUT FOUNDATION

DATE: 12/2/2025

TOTAL SHTS: 2 of 12

SHEET: 1

1 FLOOR PLAN - WALKOUT PLAN
SCALE: 1/4"=1'-0"

B PWDR 6' X 5'-6"

STORAGE 14'-6" X 25'-3"

ARCH SECTION

RETAINING WALL DESIGN

AREA 2,895 SQ FT

PLEASE NOTE, DUE TO EACH BUILDING LOT BEING AVERAGE 1/4 OF AN ACRE, THE CONSTRUCTION PRACTICES, STRUCTURAL AND ENGINEERING WILL NEED TO BE PERFORMED AT THE LOCAL LEVEL FOR ALL ON-SITE PLANS. PLANS REQUIRED INCLUDE: FINAL STRUCTURAL, DIGESTED LOCATIONS, FINAL STRUCTURAL, AND FINISHED ELEVATIONS. AMOUNTS OF FINAL DRAWINGS TO ALLOW FOR OWNER AND OTHER DIRECT SPECIFICATION, AND BECAUSE EACH AREA OF THE COUNTRY MAY HAVE MANY VARIOUS STANDARDS FOR CONSTRUCTION.

[illegible]

FLOOR PLAN
WALKOUT PLAN



ISA HOMEPLANS
1000NOTRE DESIGN GROUP, LLC.

USA-2893
2,895 SF
1-STORY MODERN LAKESIDE
WALKOUT FOUNDATION

DATE:

12/2/2025

TOTAL SHTS:

2 of 12

SHEET:

2

ROOF OVERVIEW

1. GC TO REVIEW ALL DRAWINGS PRIOR TO CONSTRUCTION.
2. ANY DISCREPANCIES OR INCONSISTENCIES SHOULD BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO CONSTRUCTION.
3. ALL SUB-CONTRACTORS ARE TO WORK OFF OF FULL SETS OF DOCUMENTS.
4. DIMENSIONS ARE TO BE ROUGH FRAMING UNLESS NOTED OTHERWISE.
5. GC TO VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.
6. IN THE EVENT OF A DISCREPANCY BETWEEN THE STRUCTURAL DRAWINGS AND ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS WILL ALWAYS SUPERSEDE ARCHITECTURAL.
7. THE CLIENT AND ARCHITECT HAVE ENGAGED TRUSS COMPANY MUST PROVIDE SHOP DRAWINGS TO STRUCTURAL ENGINEER AND GC FOR REVIEW PRIOR TO FABRICATION.
8. ALL VENTING SHALL BE ROUTED TO THE BACK SIDE OF THE ROOF ENTRY SIDE OF THE ROOF RIDGE AND BE PAINTED TO MATCH BASE ROOF COLOR.

EXTERIOR WALLS:	R-21
VAULTED/DEAD CEILING	R-38
BASEMENT WALLS	R-21
GARAGE EXTERIOR WALLS	R-19
CEILING AREA	R-50
GARAGE CEILING AREA	R-19

1. ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL CODES. SECURE ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
2. ALL CODE REFERENCES IN THESE DOCUMENTS REFER TO THE LATEST VERSION OF THE INTERNATIONAL RESIDENTIAL CODE AND OVERLEAVE.
3. ALL CONFLICTING DESIGNER NOTE(S), THE PROJECT MANAGER, SUPERINTENDENT, AND ALL SUBCONTRACTORS ARE TO EXAMINE AND VERIFY ALL DIMENSIONS EXISTING CONDITIONS BOTH ON THE P & I FIELD.
4. NOTIFY ARCHITECT AND BUILDING DEPARTMENT AND CONFLICTS PRIOR TO ANY CONSTRUCTION.
5. BUILDER TO COMPLY WITH ALL SPECIFICATIONS AND INFORMATION.
6. PROJECT MANAGER TO BE RESPONSIBLE FOR ALL CONSTRUCTION.

[illegible]

1. WINDOWS FINISHED BY BUILDER SPEC.
2. PROVIDE LOW-E GLASS ON ALL WINDOWS SUBJECT TO OPINION OF WINDOW SUPPLIER.
3. GC AND WINDOW SUPPLIER TO VERIFY EGRESS REQUIREMENTS AND TEMPERATURE CLASS RANGES.
4. GC AND WINDOW SUPPLIER TO VERIFY FINAL ROUGH OPENINGS.
5. PROVIDE ALL FLASHING AND COUNTER FLASHING, MEMBRANE WRAP AND SEALING.
6. REB. FULFILLING ELEVATIONS FOR WINDOW OPERATION, BASEMENTS AND SLEEPING ROOMS SHALL HAVE AT LEAST ONE REMOVABLE GLASS WINDOW PER ROOM.
7. TEMPER GLASS WHEN: (AND/OR AS DIRECTED PER LOCAL CODE)
 - LOCATION IS WITHIN 2' ARC OF A DOOR, EITHER 2' CLOSING
 - AREAS SUBJECT TO IMPACT BY HUMANS OR ANIMALS.
 - GLASS USED IN DOORS.
 - PLACED LESS THAN 18" AFF AND GREATER THAN 9' 6" IN SIZE.
8. AT BATHUB AND SHOWER LOCATIONS

PROVIDE 1/4" / FT
SLOPE
TOWARD OVERHEAD
DOORS

RE: STRUCT FOR SLAB
ENGINEERING,
ALL PER LOCAL CODE

U.N.O. PER STRUCT, TYP
SLABS: 4" THICK
CONCRETE OVER 4"
GRANULAR FILL WITH
1/2" EXPANSION JOINT
AT PERIMETER AND
TOOLED CONTROL
JOINTS AT BEAM LINES.

PLAN REVISIONS	
Number	Date Description

FLOOR PLAN
MAIN LEVEL PLAN



ISA HOMEPLANS

SCHNOORER DESIGN GROUP, LLC

USA-2895

2,895 SF
MODERN LAKEHURST
WALKOUT FOUNDATION

DATE:

12/2/2025

TOTAL SHTS:

3 of 12

SHEET:

3

LIVING AREA
2895 SQ FT

1 FLOOR PLAN - MAIN LEVEL PLAN
SCALE: 1/4"=1'-0"

ROOF NOTES:

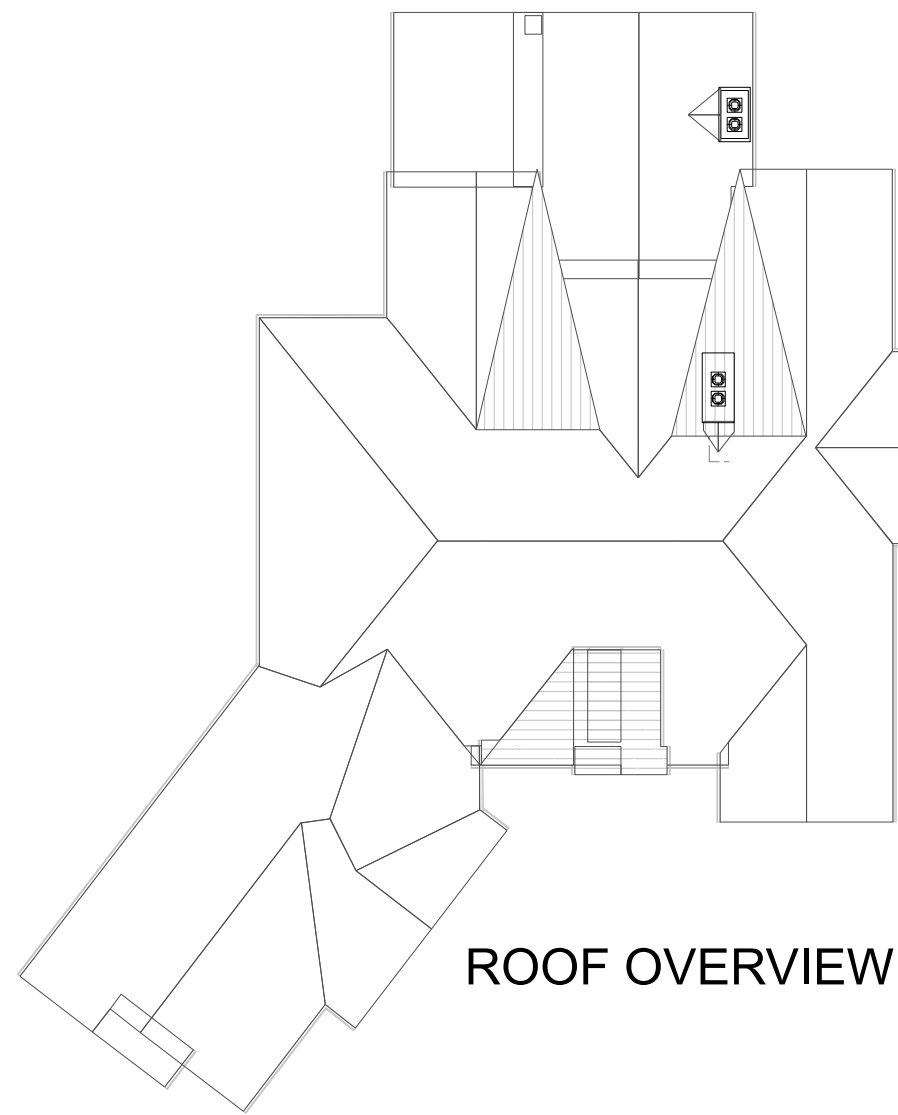
- BUILDER SPEC AND LOCAL CODES
OVERALL ALL NOTES:
1. ALL ROOF FRAMING 24" O.C. UNO
 2. ALL OVERHANGS 24" UNO
 3. ATTIC VENTILATION: REQUIRED PER CODE, BY BUILDER
 4. WALL HEADERS: (2) 2 X 10 DF 2 TYP. UNO-PER STRUCTURAL
 5. HIGH PROFILE ASPHALT SHINGLES. RE: ROOF PLAN FOR ADDITIONAL ROOFING MATERIALS, INSTALL PER MANUFACTURERS SPECIFICATIONS.
 6. APPLY ICE & WATER SHIELD AT ALL EAVES, RIDGES, AND VALLEYS. DEFER TO LOCAL CODE OTHERWISE.
 7. TITANIUM FELT UNDERLAYMENT, TYPICAL THROUGHOUT ROOF
 8. ROUTE ALL ROOF PENETRATIONS THROUGH NON-STREET SIDE OF ROOF.
 9. EXTRUDED GALVALUME, GUTTER AND DOWNSPOUT (TYP.)
 10. MOST ROOF SLOPES TO BE: 7:12 UNLESS NOTED OTHERWISE.
 11. PROVIDE ROOF CRICKETS AS NECY. FOR DRAINAGE.

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION



ROOF OVERVIEW

PLEASE NOTE: THIS PLAN AND ALL OTHERS ARE THE PROPERTY OF ISA HOMEPLANS, INC. AND ARE NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ISA HOMEPLANS, INC. ANY VIOLATION OF THIS NOTICE WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

PLAN REVISIONS	Description
Number	Date

ROOF PLAN
PLAN + NOTES



USA-2895
2,895 SF
1-STORY MODERN LAKEH
WALKOUT FOUNDATI

DATE:

12/2/2025

TOTAL SHTS:

4 of 12

SHEET:

4

1 ROOF PLAN - PLAN + NOTES
SCALE: 1/4"=1'-0"

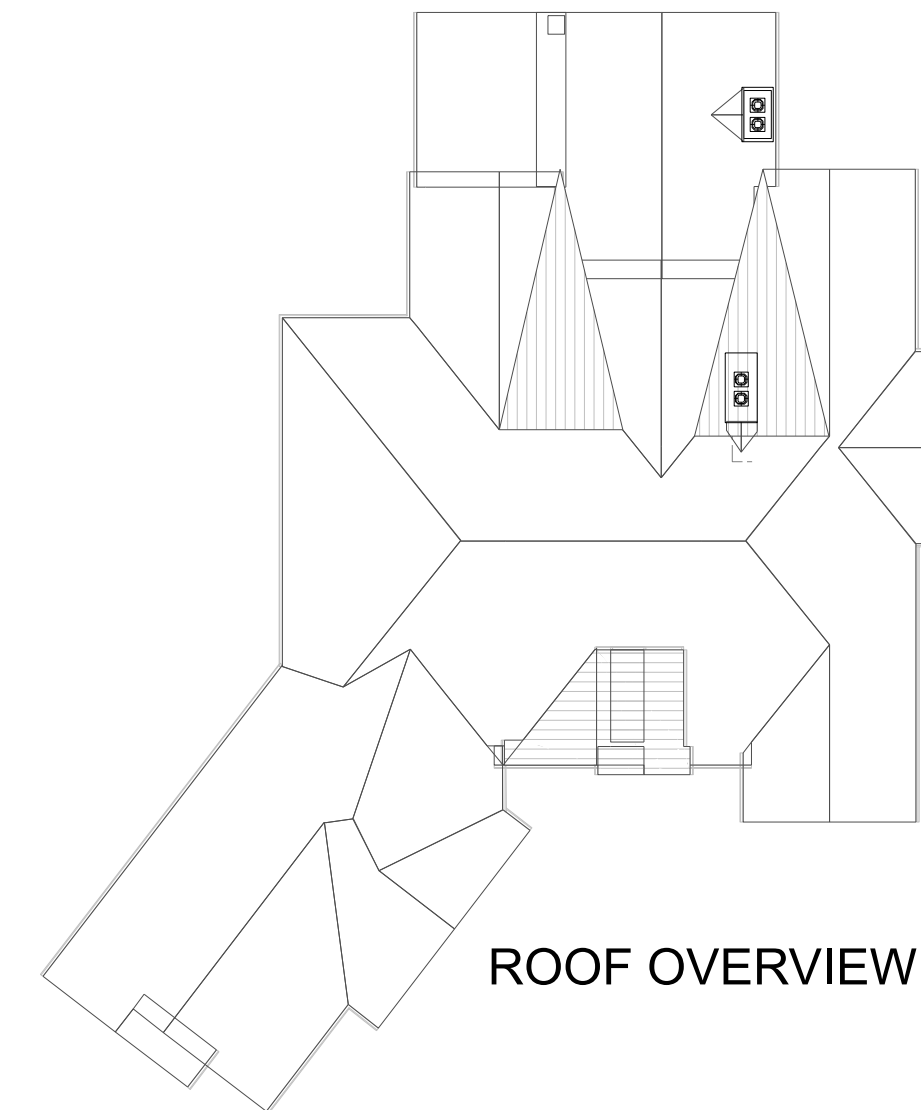
NOT FOR CONSTRUCTION

UNEXCAVATED (GARAGE)
26'-8" X 53'-5"

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION



ROOF OVERVIEW

PROVIDE 1/4" / FT
SLOPE
TOWARD OVERHEAD
DOORS
RE: STRUCT FOR SLAB
ENGINEERING
ALL PER LOCAL CODE
WALKOUT PER STRUCT. TYP.
SLABS: 4" THICK
CONCRETE OVER 4"
GRANULAR FILL WITH
1/2" EXPANSION JOINT
AT PERIMETER AND
TOOLED CONTROL
JOINTS AT BEAM LINES
MIN. 6 MIL. VAPOR
BARRIER UNDER SLAB
RE: LOCAL CODE
INSULATE SLAB AND
PERIMETER
PER LOCAL CODE
INSULATE WALLS
AND CEILING PER
CODE
5/8" TYPE 'X' GYP BD.
WITH PRE-TAPED AND
FINISHED JOINTS

GARAGE
27' X 53'-8"

GARAGE DOOR OPENER 1

WORK BENCH
PER OWNER

3 GARAGE PLAN - FOUNDATION PLAN
SCALE: 1/4"=1'-0"

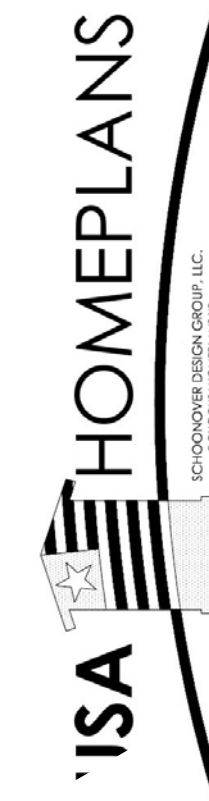
2 GARAGE PLAN - GARAGE PLAN+ELECTRICAL
SCALE: 1/4"=1'-0"

1 GARAGE PLAN - ROOF PLAN
SCALE: 1/4"=1'-0"

PLEASE NOTE: THIS IS A PRELIMINARY SET OF
DRAWINGS. IT IS THE RESPONSIBILITY OF THE
OWNER TO VERIFY ALL INFORMATION AND
PERMITS. THE ARCHITECT ASSUMES NO
RESPONSIBILITY FOR ANY ERRORS OR
OMISSIONS. THE ARCHITECT SHALL NOT BE
RESPONSIBLE FOR ANY CONSTRUCTION
DEFECTS OR DAMAGE TO THE PROPERTY.
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DAMAGE TO THE PROPERTY. THE ARCHITECT
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DEFECTS OR DAMAGE TO THE PROPERTY.

PLAN REVISIONS	
Number	Description

GARAGE PLAN
FDN, MAIN+ELECT, ROOF



USA-2895
2,895 SF
1-STORY MODERN LAKEH
WALKOUT FOUNDATI

DATE:

12/2/2025

TOTAL SHTS:

5 of 12

SHEET:

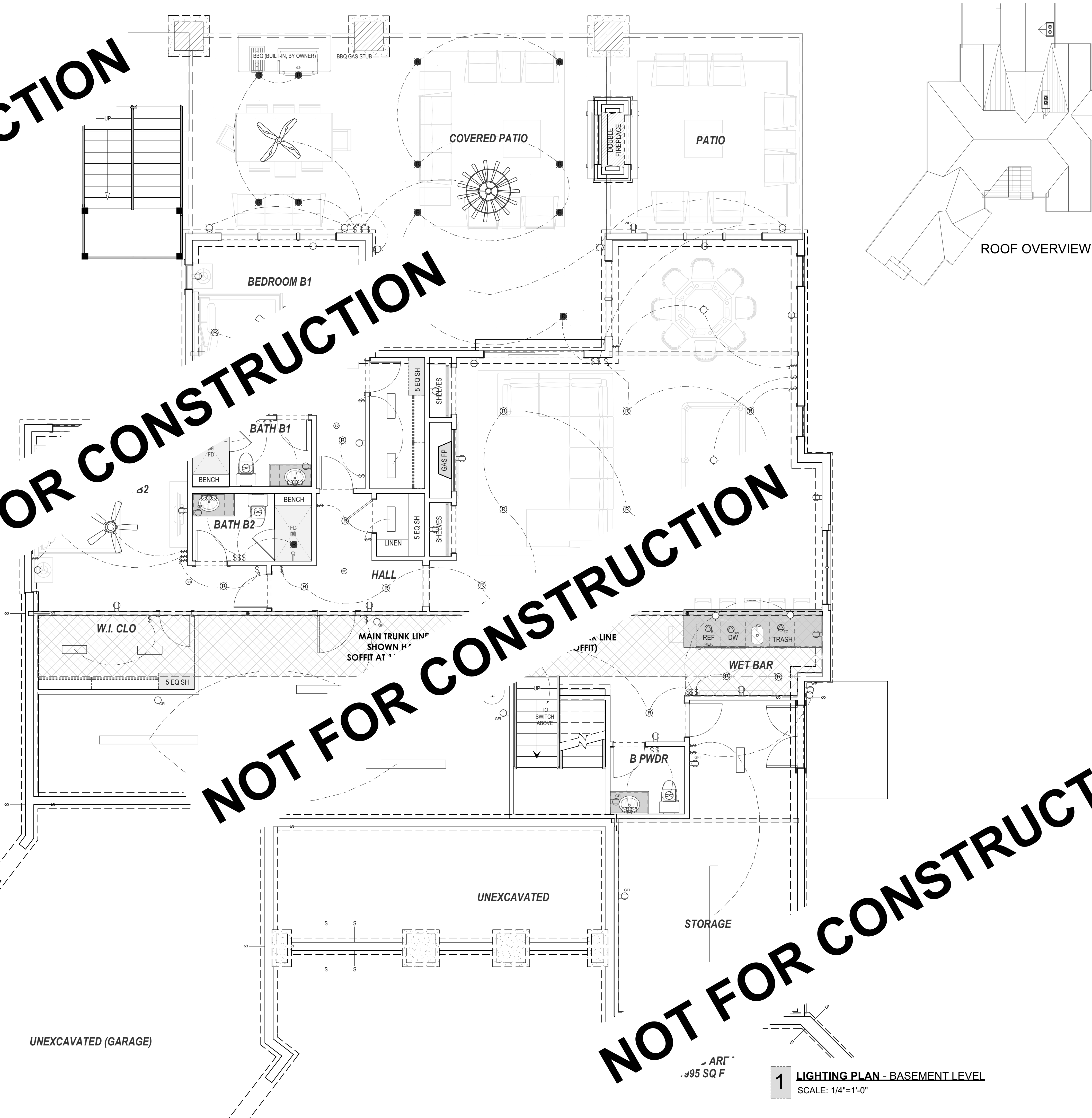
5

ELECTRICAL, DATA, & AUDIO NOTES:

HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:

1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
2. PROVIDE ONE SMOKE DETECTOR IN EACH SLEEPING ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
3. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH BUILDER.
5. FIXTURES TO BE SELECTED BY BUILDER.



ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	CEILING FAN
	VENTILATION FANS: CEILING MOUNTED, WALL MOUNTED
	CEILING MOUNTED LIGHT FIXTURES: SURFACE/PENDANT, RECESSED, WATER VAPOR PROOF, LOW VOLTAGE
	CEILING MOUNTED FIXTURES: FLUSH TRADITIONAL ROUNDED.
	WALL MOUNTED LIGHT FIXTURES: FLUSH MOUNTED, WALL SCONCE
	CHANDELER LIGHT FIXTURES
	FLUORESCENT LIGHT FIXTURE
	FLUORESCENT LIGHT UNDER CABINET
	220V RECEPTACLE
	110V RECEPTACLES: DUPLEX, WEATHER PROOF, GFC/GFCI
	SWITCHES: SINGLE POLE, WEATHER PROOF, 3-WAY, 4-WAY
	UTILITY LIGHTING: KEYED FIXTURE, PULL SWITCH
	WALL JACKS: CAT5, CAT5 + TV, TV/CABLE
	TELEPHONE JACK
	INTERCOM
	THERMOSTAT
	DOOR CHIME, DOOR BELL BUTTON
	SMOKE+ CO DETECTORS: CEILING + WALL MOUNTED
	ELECTRICAL BREAKER PANEL

PLEASE NOTE: THIS PLAN IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION. THE FINAL DESIGN SHALL BE DETERMINED BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE FINAL DESIGN. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE FINAL DESIGN. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE FINAL DESIGN.

PLAN REVISIONS

Number Date Description

LIGHTING PLAN
BASEMENT LEVEL

ISA HOMEPLANS
DESIGNER: ISA HOMEPLANS
1-800-854-4444

USA-2895

2,895 SF

1-STORY MODERN LAKEH
WALKOUT FOUNDATION

DATE:

12/2/2025

TOTAL SHTS:

6 of 12

SHEET:

6

1 LIGHTING PLAN - BASEMENT LEVEL
SCALE: 1/4"=1'-0"

HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO
VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES,
CABLE, DATA, PHONE, AUDIO, ETC.

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5. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH BUILDER.
6. FIXTURES TO BE SELECTED BY BUILDER.

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6. FIXTURES TO BE SELECTED BY BUILDER.



Number	Date	Description
--------	------	-------------

LIGHTING PLAN

MAIN LEVEL



USA-2893
2,895 SF
1-STORY MODERN LAKEHURST
WALKOUT FOUNDATION

DATE:

12/2/2025

TOTAL SHTS:

7 of 12

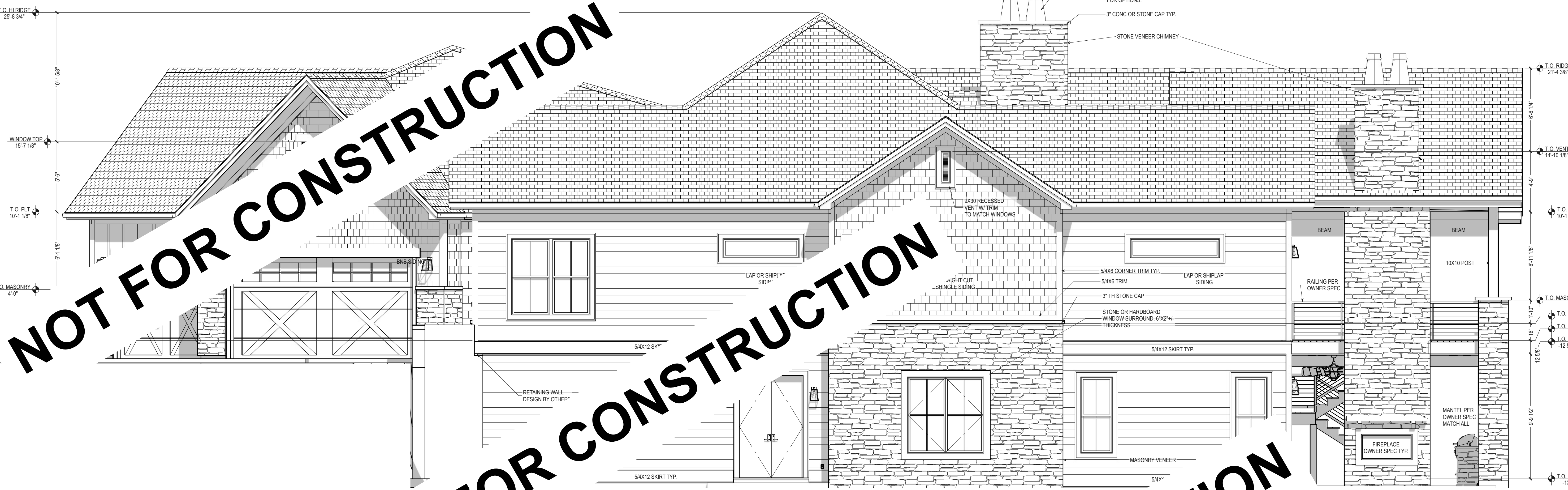
SHEET:

7

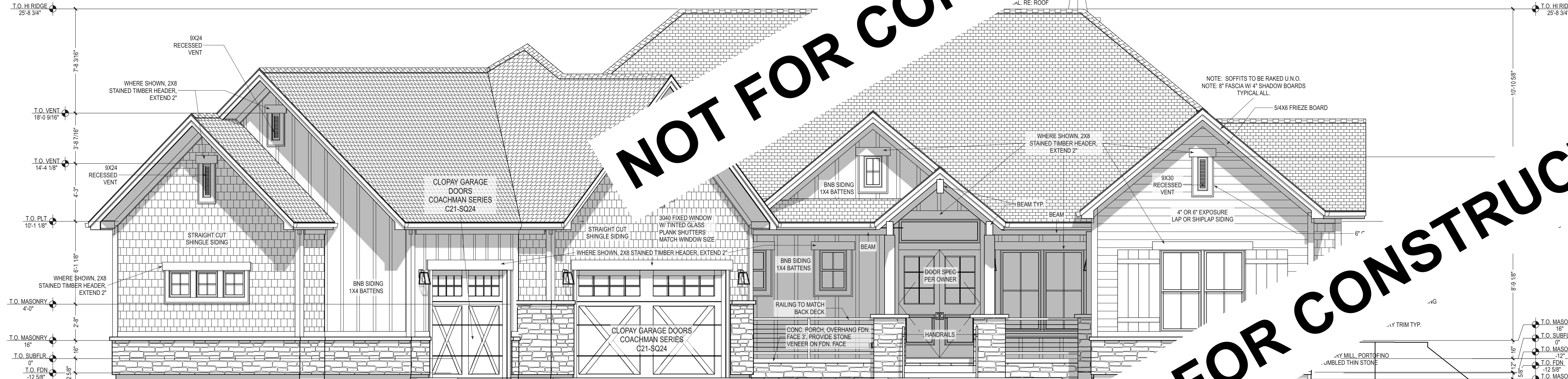
ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
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	VENTILATION FANS: CEILING MOUNTED, WALL MOUNTED
	CEILING MOUNTED LIGHT FIXTURES: SURFACE/PENDANT, RECESSED, WATER VAPOR PROOF, LOW VOLTAGE
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	FLUORESCENT LIGHT UNDER CABINET
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	WALL JACKS: CAT5, CAT5 + TV, TV/CABLE
	TELEPHONE JACK
	INTERCOM
	THERMOSTAT
	DOOR CHIME, DOOR BELL BUTTON
	SMOKE+ CO DETECTORS; CEILING + WALL MOUNTED
	ELECTRICAL BREAKER PANEL

LIVING AREA
2895 SQ FT

1 LIGHTING PLAN - MAIN LEVEL
SCALE: 1/4"=1'-0"

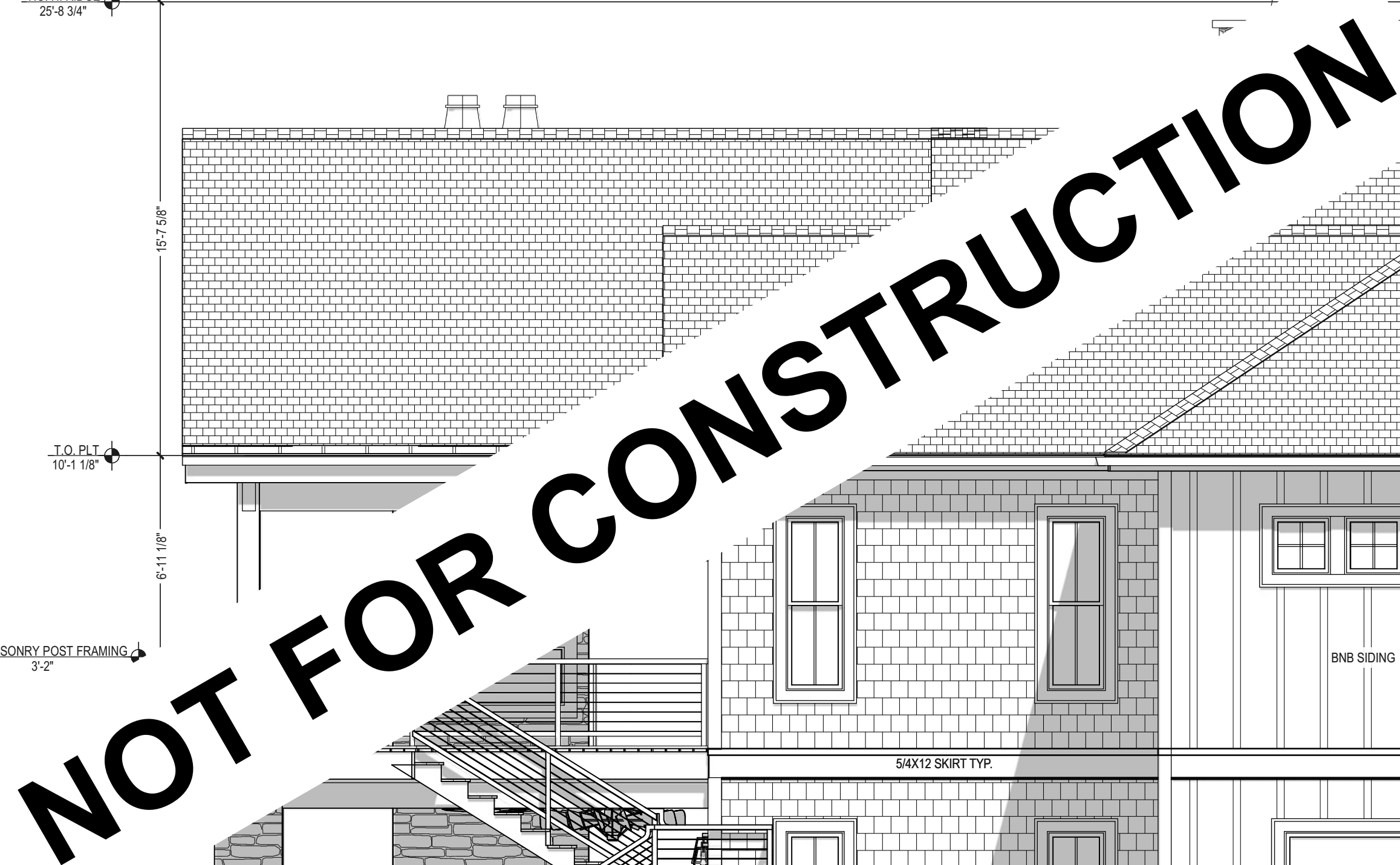


2 EXTERIOR ELEVATIONS - FRONT + RIGHT



1 EXTERIOR ELEVATIONS - FRONT + RIGHT
SCALE: 1/4"=1'-0"

[illegible]



5/4X12 SKIRT TYP.

B&B SIDING

LANDING POSTS 6X6

5/4X12 SKIRT TYP.

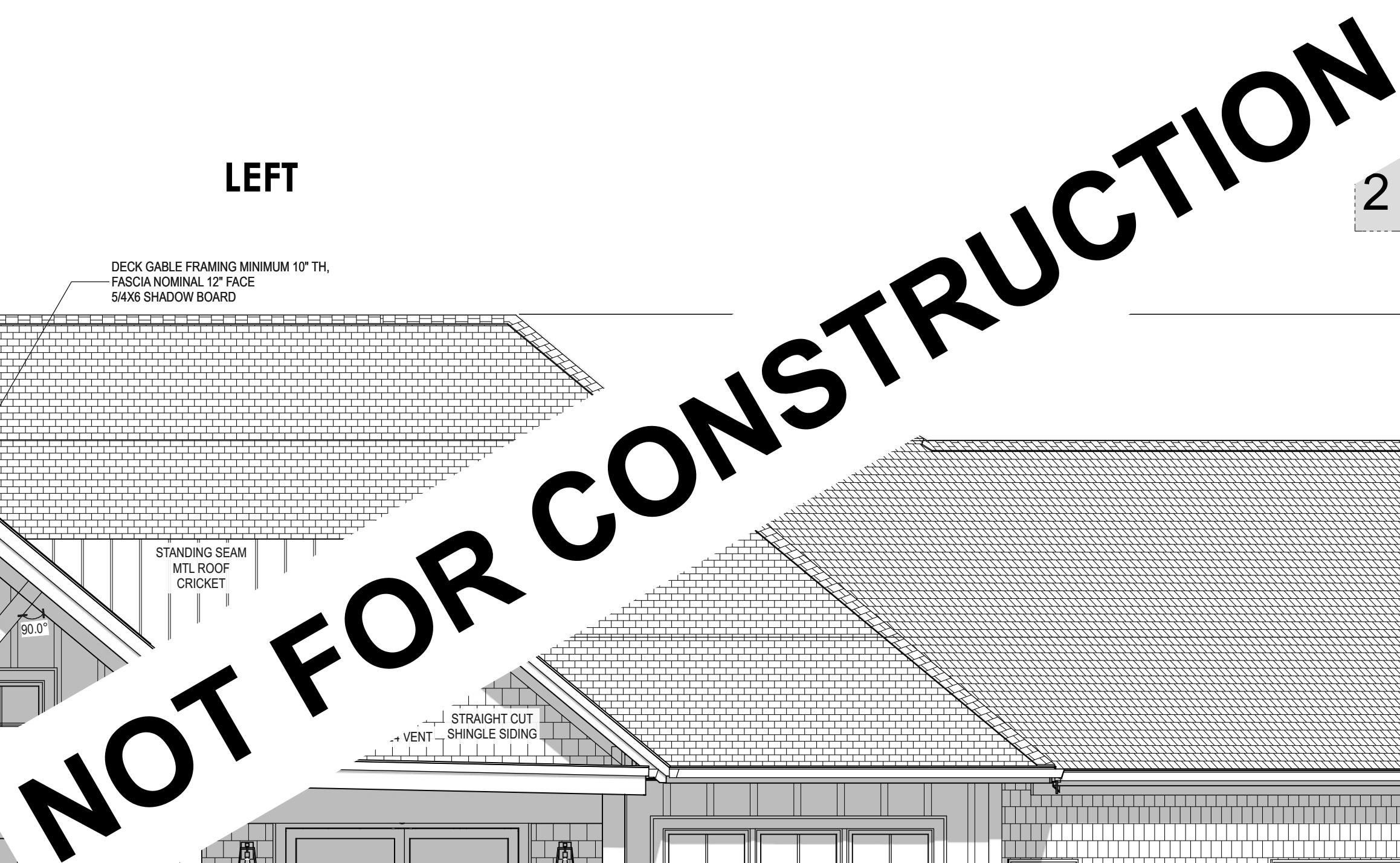
NOT FOR CONSTRUCTION

LEFT

DECK GABLE FRAMING MINIMUM 10" TH.
FASCIA NOMINAL 12" FACE
5/4X6 SHADOW BOARD

2

SCALE: 1/4"=1'-0"



1

SCALE: 1/4"=1'-0"

0	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99
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EXTERIOR ELEVATIONS

BACK + LEFT

USA

 HOMEPLANS

SCHINDLER DESIGN GROUP, LLC.
DOUGLAS/HOMEPLANS

L
C
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C
C
C

2,895 SF
ERN LAKE
JT FOUND

2,895 SF
MODERN LAKEHURST
WALKOUT FOUNDATION

DATE:

2/2/2025

TOTAL SHOTS:

9 of 12

SHEET:

9

ASSEMBLY TYPES:

- AA Typical Exterior Wall:
Exterior finish per elevation on 30# felt waterproof membrane or tyvek type house wrap on exterior sheathing per structural on 2x framing per structural with R-21 batt insulation. Provide vapor barrier at inside face of framing with 1/2" gyp. Board.
- BB Typical Interior Wall:
2x framing with R-13 acoustic batt infill (as shown on drawing or as instructed by client) with 1/2" gyp. bd at each side.
- CC Typical Foundation Wall:
Rigid insulation and drain system (as needed per soils report) over damproofing over reinforced concrete foundation wall per structural plans. 2x4 furring and 1/2" gyp. bd. at interior finish locations.
- DD Typical Roof:
Roofing material per elevation on WR Grace Ice and Water Shield waterproof membrane, on exterior sheathing per structural on cold roof framing on plg sheathing on TJI rafters or premanufactured roof truss with R-38 insulation at warm face of truss UNO or R-48.
- GG Typical Lower Level Floor:
Finished floor material per plan over concrete slab per structural over insulation and waterproof membrane over (per soil testing results).
- GG Typical Soffit Const: Provide 1x8 Fascia board, 1x6 subfascia, gutter and downspouts, 2x4 kicker nailer, 5/8" painted hardboard soffit board with 8" x16" vents at 8'-0" OC.
- JJ Typical Slab:
Concrete slab per structural, slope at 1/8" per 1'-0" minimum to drain.
- KK Typical Timber Components:
S4S RFKD Douglas Fir SS FOHC, columns and brackets per structural and per timber shop drawings.
- KKA1 Typical Timber Components (ALTERNATE 1):
S4S WESTERN RED CEDAR (WRC) FOHC GREEN #2/BETTER appearance grade beams, columns and brackets per structural and per timber shop drawings.
- Note: Exterior structural wood (non-timber) beams, PSL Wolmanized and Pressurized, wrapped in WRC trim.
- Note: Ceiling finish at wood trusses (interior) by builder.
- Note: Ceiling finish at wood trusses (exterior) by builder.

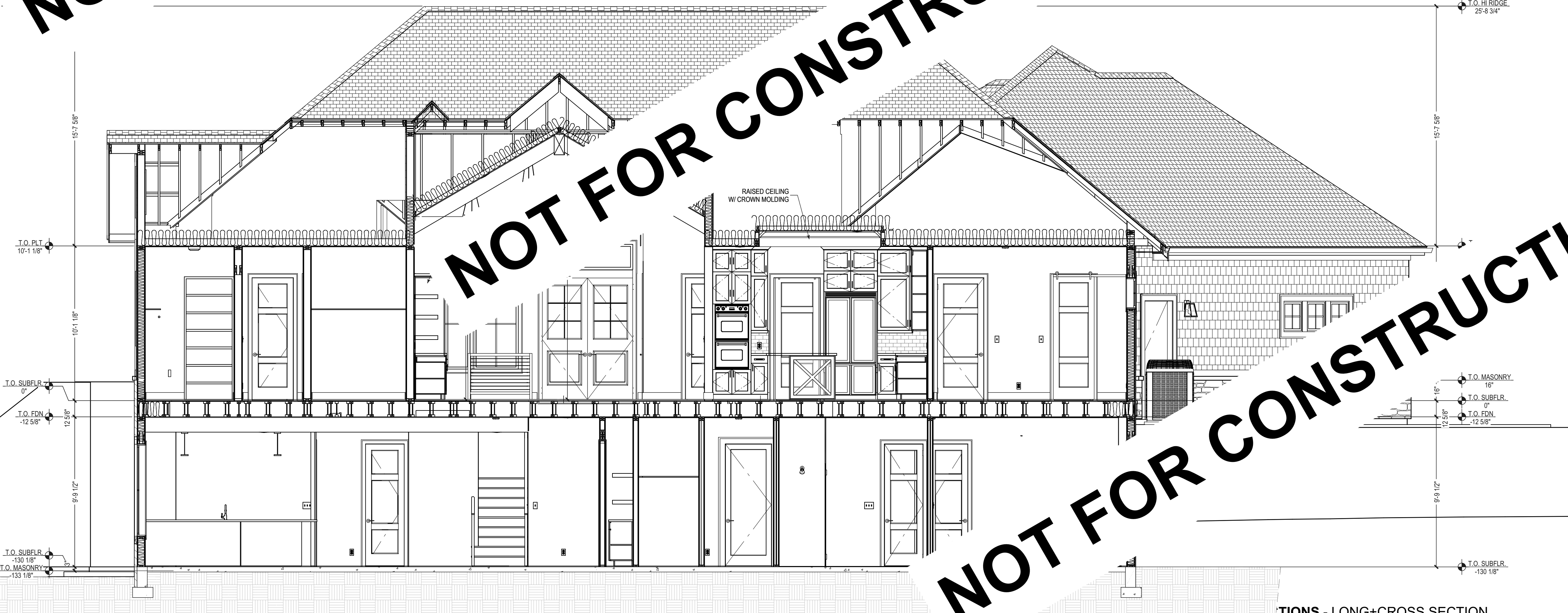
structural plans NOTE:

Structural information provided on these plans is for design intent purposes only and should be verified with structural drawings by a licensed structural engineer. In the event structural information varies between architectural and structural drawings, the structural drawings will supersede architectural drawings.



CROSS SECTION 2

BUILDING SECTIONS - LONG+CROSS SECTION
SCALE: 1/4"=1'-0"



CROSS SECTION 1

BUILDING SECTIONS - LONG+CROSS SECTION
SCALE: 1/4"=1'-0"

PLEASE READ THE FOLLOWING NOTES CAREFULLY BEFORE PROCEEDING WITH CONSTRUCTION. THESE NOTES ARE INTENDED TO SUPPLEMENT THE DRAWINGS AND SHOULD BE USED IN CONJUNCTION WITH THE DRAWINGS. IF THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND THESE NOTES, THE DRAWINGS SHALL PREVAIL. THE DRAWINGS AND THESE NOTES ARE THE PROPERTY OF ISA HOMEPLANS AND SHALL REMAIN THE PROPERTY OF ISA HOMEPLANS. ANY REPRODUCTION OR DISTRIBUTION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF ISA HOMEPLANS IS STRICTLY PROHIBITED.

PLAN REVISIONS	Description
Number	Date

BUILDING SECTIONS
LONG+CROSS SECTION

ISA HOMEPLANS
DESIGNER: JESSICA WILSON, LLC
1-1000-444-4444

USA-2895
2,895 SF
1-STORY MODERN LAKEH
WALKOUT FOUNDATI

DATE:
12/2/2025
TOTAL SHTS:
10 of 12
SHEET:
10

AA Typical Exterior Wall:
Exterior finish per elevation on 30# felt waterproof membrane or tyvek type house wrap on exterior sheathing per structural on 2x framing per structural with R-21 batt insulation. Provide vapor barrier at inside face of framing with 1/2" gyb. Board.

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UNO or R

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 finished floor material per plan over
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 and waterproof membrane over (per soil
 testing results).

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S4S RFKD Douglas Fir SS FOHC, columns
and brackets per structural and per timber
shop drawings.

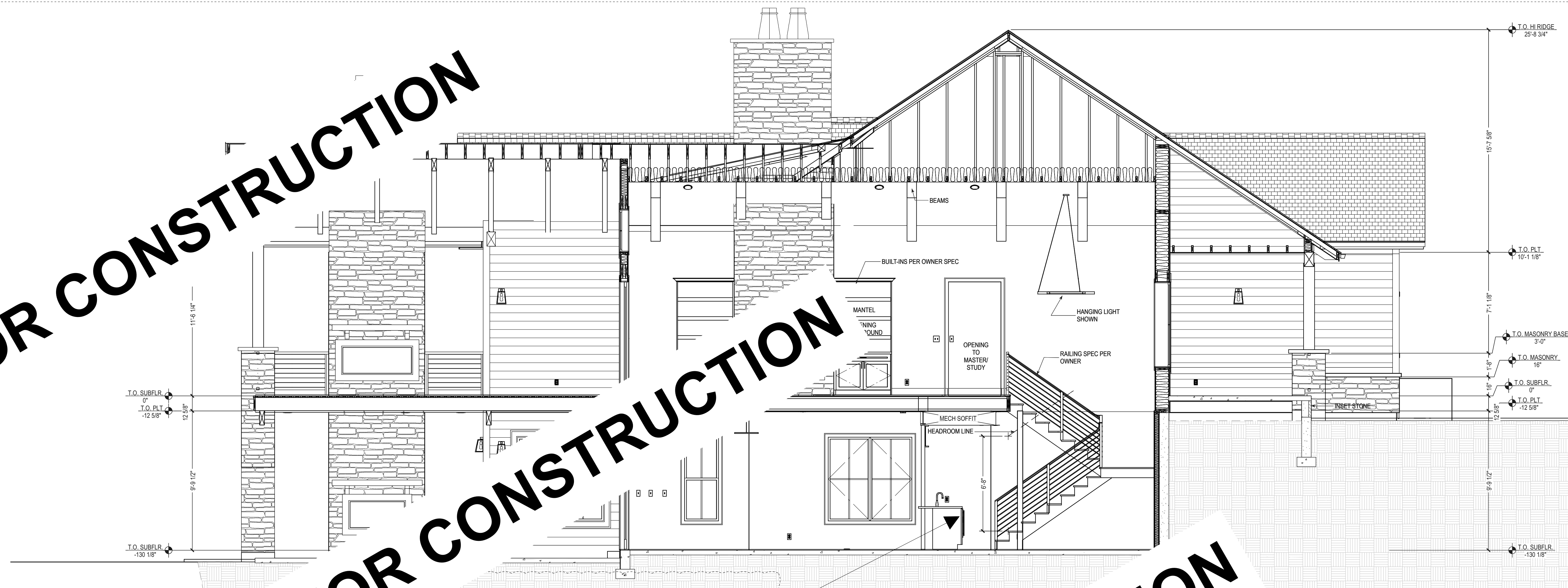
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(ALTERNATE 1):
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FOHC GREEN #2/BETTER appearance
grade beams, columns and brackets per
structural and per timber shop drawings.

Note: Exterior structural wood (non-timber) beams, PSL Wolmanized and Pressurized, wrapped in WRC trim.

Note: Ceiling finish at wood trusses (interior) by builder.

Note: Ceiling finish at wood trusses (exterior) by builder.

Structural information provided on these plans is for design intent purposes only and should be verified with structural drawings by a licensed structural engineer. In the event structural information varies between architectural and structural drawings, the structural drawings will supersede architectural drawings.



LONG SECTION

Length	Width	Tread Depth	Treads	Bottom Height	Top Height	Riser Height
88"	42"	11"	8	-129 1/4"	-60 3/8"	7 5/8"
77"	42"	11"	7	-60 3/8"	7/8"	7 5/8"

STAIR DATA

SITE CONDITIONS MAY VARY



PORCH SECTION

BUILDING SECTIONS - LONG+CROSS SECTION

SCALE: 1/4"=1'-0"

1 BUILDING SECTIONS - LONG+CROSS SECTION

PLEASE NOTE, DUE TO EACH BUILDING LOT BEING UNIQUE AND EACH AREA OF THE COUNTRY HAVING DIFFERENT BUILDING CODES, ENGINEERING WILL NEED TO BE PERFORMED AT THE LOCAL LEVEL FOR ALL ONLINE PLANS. PLANS REFLECT GENERAL STRUCTURAL SUGGESTED LOCATIONS, FINAL STRUCTURAL ALIGNMENT MAY VARY. ONLINE PLANS TYPICALLY HAVE MINIMAL AMOUNTS OF DETAIL DRAWINGS TO ALLOW FOR OWNER AND BUILDER DIRECT SPECIFICATION, AND BECAUSE EACH AREA OF THE COUNTRY MAY HAVE

PLAN REVISIONS	
Number	Date
	Description

BUILDING SECTIONS LONG+CROSS SECTION



ISA HOMEPLANS
TODONOVES DESIGN GROUP, LLC

USA-2895
2,895 SF
1-STORY MODERN LAKEH.
WALKOUT FOUNDATION

DATE:
12/2/2023

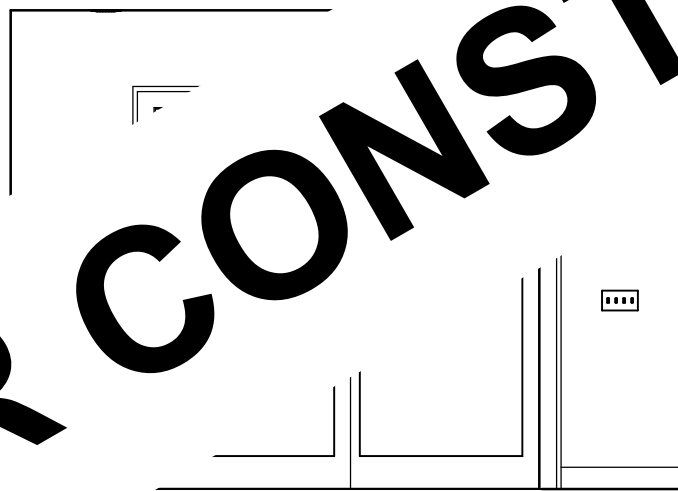
TOTAL SHTS
11 of 12

SHEET:

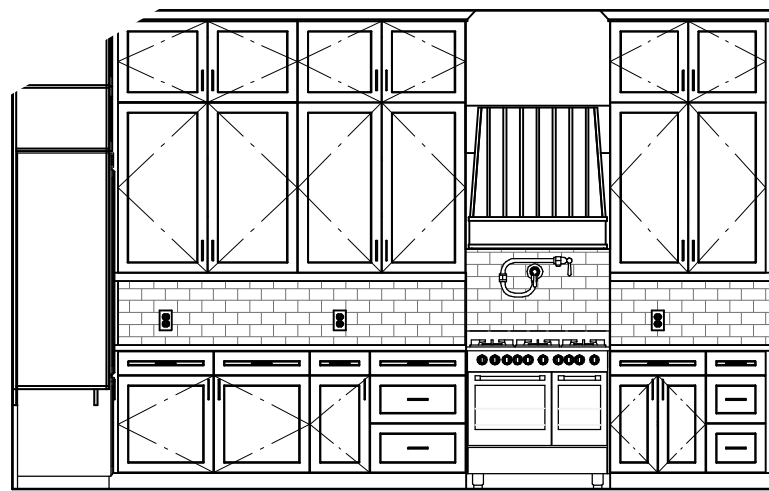
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NOT FOR CONSTRUCTION

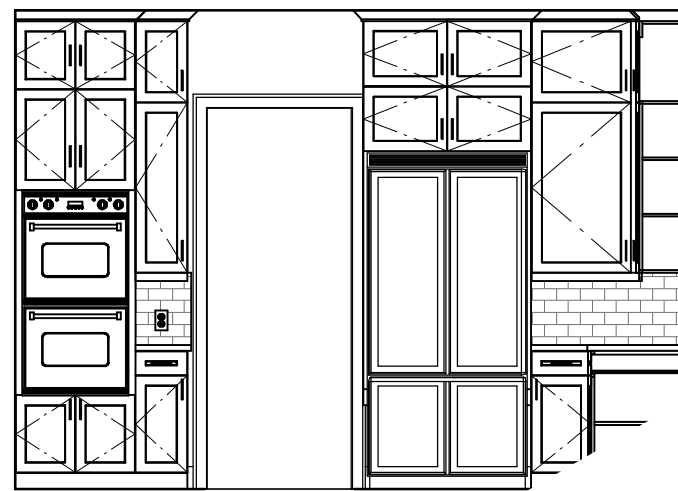
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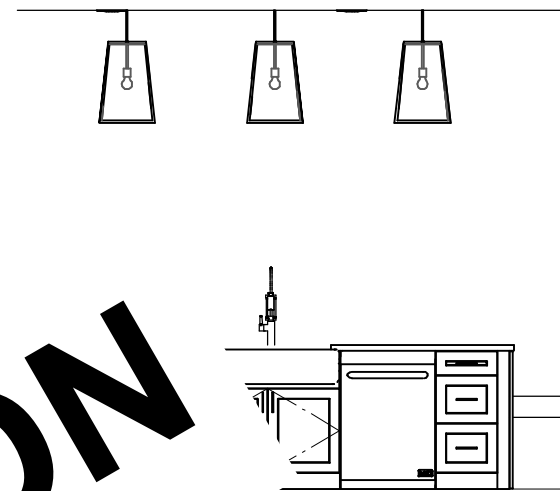
DINING ROOM



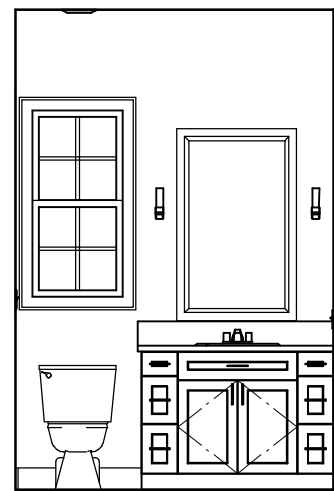
KITCHEN 1



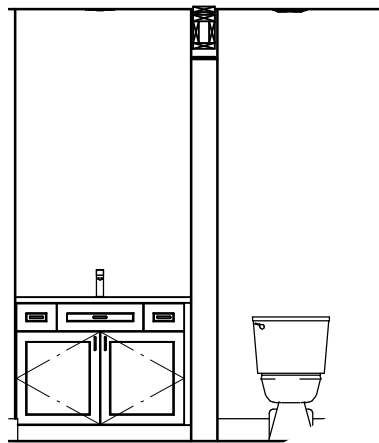
KITCHEN 2



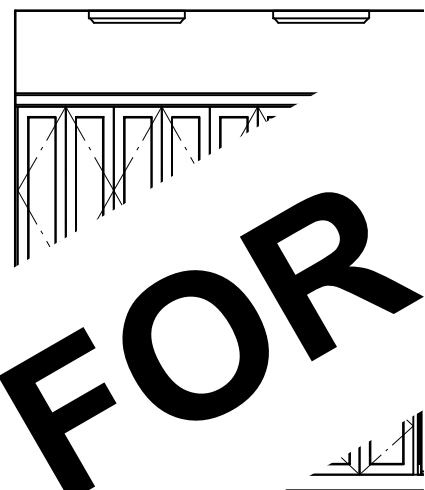
KITCHEN 3



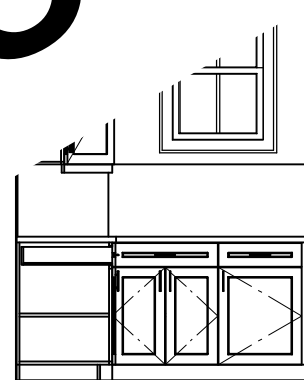
BATH 2



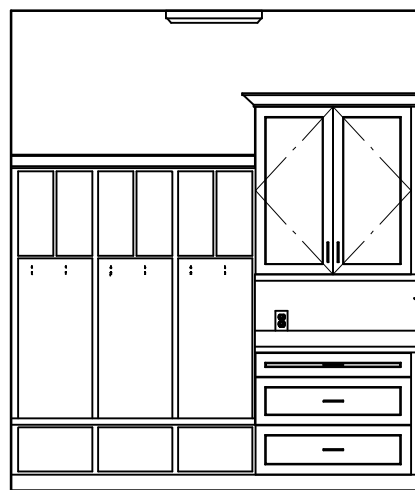
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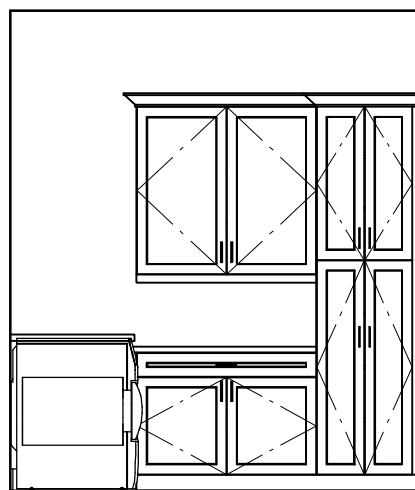
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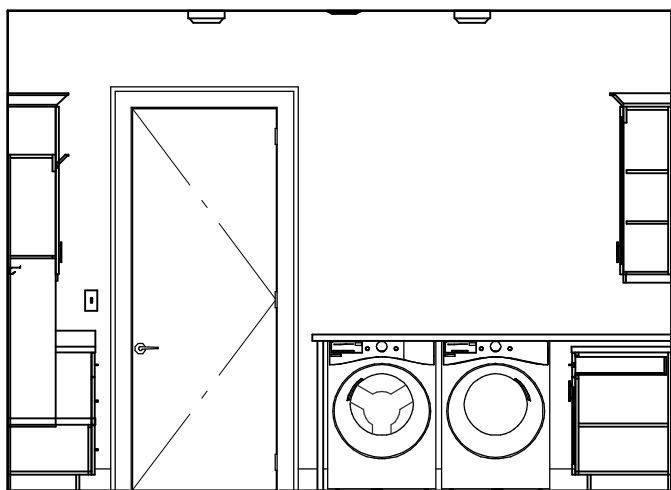
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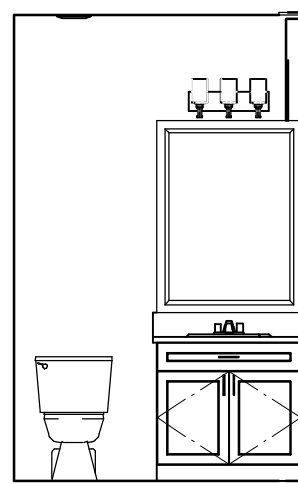
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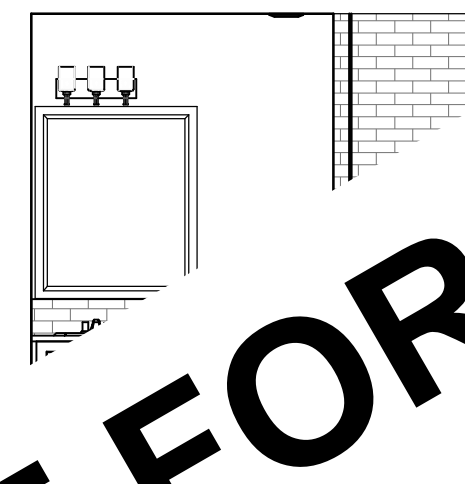
LAUNDRY 1



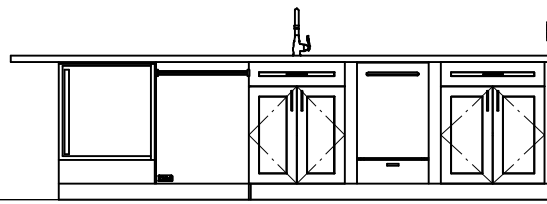
LAUNDRY 2



B.P.



B1



WET BAR

1 ELEVATIONS+DETAILS - AS NECESSARY
SCALE: 1/4"=1'-0"

PLEASE NOTE: THIS IS A PRELIMINARY
DRAWING AND IS NOT TO BE USED FOR
CONSTRUCTION. IT IS THE RESPONSIBILITY
OF THE CLIENT TO OBTAIN ALL NECESSARY
PERMITS AND APPROVALS FROM THE
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THE INFORMATION PROVIDED HEREIN.
THE ARCHITECT SHALL NOT BE RESPONSIBLE
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FOR OBTAINING ALL NECESSARY PERMITS
AND APPROVALS FROM THE APPLICABLE
AGENCIES.

PLAN REVISIONS	Number	Date	Description

ELEVATIONS+DETAILS
AS NECESSARY



USA-2895
2,895 SF
1-STORY MODERN LAKEH
WALKOUT FOUNDATION

DATE:	12/2/2025
TOTAL SHTS:	12 of 12
SHEET:	12